

This page is part of your document - DO NOT DISCARD



20140256785



Pages:
0007

Recorded/Filed in Official Records
Recorder's Office, Los Angeles County,
California

03/13/14 AT 08:00AM

FEES:	57.00
TAXES:	0.00
OTHER:	0.00
PAID:	57.00

PCOR SURCHARGE \$20.00



LEADSHEET



201403130290006

00008951926



006078728

SEQ:
02

ERDS - 8:00AM



THIS FORM IS NOT TO BE DUPLICATED

E12

RECORDING REQUESTED BY
FIRST AMERICAN TITLE INSURANCE CO.
NATIONAL COMMERCIAL SERVICES
RECORDING REQUESTED BY
City of Santa Fe Springs

WHEN RECORDED MAIL TO
Ridgeline Energy Services (USA) Inc.,
14555 N. 82nd Street
Scottsdale AZ, 85260
Attn: Chief Financial Officer

NCB-647832-2H1

GRANT DEED

APN: 8009-022-029 and 8009-022-030 and 8009-022-031

THE UNDERSIGNED GRANTOR(S) DECLARE(S)

DOCUMENTARY TRANSFER TAX is \$0.00 only to confirm the Notice of Lot Line Adjustment No. 2013-02

☐ computed on full value of property conveyed, or ☐ computed on full value less value of liens or encumbrances

remaining at time of sale.

☐ Unincorporated area ☒ City of Santa Fe Springs

THE GRANTORS AND THE GRANTEE IN THIS CONVEYANCE

ARE COMPOSED OF THE SAME PARTIES WHO CONTINUE TO

HOLD THE SAME PROPRIETARY INTEREST IN THE

PROPERTY RET 11925A1

FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

RIDGELINE ENERGY SERVICES (USA) INC., A DELAWARE CORPORATION (Grantor)

hereby GRANT(s) to

RIDGELINE ENERGY SERVICES (USA) INC., A DELAWARE CORPORATION (Grantee)

The land located in the City of Santa Fe Springs, County of Los Angeles, State of California, described as follows:

The land described in Exhibit "A" (2 Sheets) and shown on Exhibit "B" (2 Sheets) both attached hereto and by this reference made a part hereof.

The recording of this deed is not for consideration, but for the purpose of adjusting the boundary lines per Notice of Lot Line Adjustment No. 2013-02, recorded 2/12/14 as Instrument No. 20140154525, of Official Records and to correct Grant Deed recorded October 25, 2013 as Instrument No. 2013-1532579, of Official Records recorded in error.

**RIDGELINE ENERGY SERVICES (USA) INC.,
A DELAWARE CORPORATION**

By: _____
Name: _____
Title: _____
Date: _____

By: [Signature]
Name: James M. Smith
Title: CEO
Date: 2-10-14

SIGNATURE(S) MUST BE NOTARIZED

STATE OF CALIFORNIA

COUNTY OF _____

On See attached

before me, _____

(Here insert name and title of the officer)

personally appeared _____

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: _____

(This area for official Notary seal)

NOTARIAL ACKNOWLEDGEMENT

STATE OF Arizona)

COUNTY OF Maricopa)

This instrument was acknowledged before me this 10th day of February

2014, by Dennis M. Danzik



(Notary Seal)

Detra L. Rawlins
NOTARY PUBLIC

Description of document this notarial certificate is being attached to:	
Type/Title	Grant Deed
Date of Doc	February 10, 2014
Number of Pages	1
Add'l Signers (other than those named in the notarial certificate.)	

EXHIBIT "A"
LOT LINE ADJUSTMENT NO. 2013-02
LEGAL DESCRIPTION

PARCEL 1:

THOSE PORTIONS OF THE SOUTH ONE-HALF OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 11 WEST, RANCHO SANTA GERTRUDES, IN THE CITY OF SANTA FE SPRINGS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1, PAGE 502 OF PATENTS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, ALSO BEING THAT PORTION OF PARCELS "A" AND "D" OF THE LAND DESCRIBED IN "GRANT DEED" RECORDED AUGUST 6, 1998 AS INSTRUMENT NO. 98-1376149, OF OFFICIAL RECORDS OF SAID COUNTY AND SHOWN ON RECORD OF SURVEY RECORDED IN BOOK 166, PAGES 90 THROUGH 93, INCLUSIVE OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE CENTERLINE OF LAKELAND ROAD (80.00 FEET WIDE) WITH A LINE PARALLEL WITH AND DISTANT 24.00 FEET EASTERLY, MEASURED AT RIGHT ANGLES FROM THE WEST LINE OF THE WEST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 6, BOTH AS SHOWN ON SAID RECORD OF SURVEY;

THENCE ALONG SAID PARALLEL LINE, NORTH $00^{\circ} 17' 28''$ EAST, 762.94 FEET TO A LINE PARALLEL WITH AND DISTANT 559.00 FEET SOUTHERLY, MEASURED AT RIGHT ANGLES FROM THE CENTERLINE OF FLORENCE AVENUE (50.00 FEET HALF-WIDTH) AS SHOWN ON SAID RECORD OF SURVEY;

THENCE ALONG LAST MENTIONED PARALLEL LINE, NORTH $89^{\circ} 49' 36''$ WEST, 426.00 FEET TO A LINE PARALLEL WITH AND DISTANT 402.00 FEET WESTERLY, MEASURED AT RIGHT ANGLES FROM SAID WEST LINE;

THENCE ALONG LAST MENTIONED PARALLEL LINE, NORTH $00^{\circ} 17' 28''$ EAST, 539.00 FEET TO A LINE PARALLEL WITH AND DISTANT 20.00 FEET SOUTHERLY, MEASURED AT RIGHT ANGLES FROM SAID CENTERLINE OF FLORENCE AVENUE;

THENCE ALONG LAST MENTIONED PARALLEL LINE, NORTH $89^{\circ} 49' 36''$ WEST, 68.93 FEET TO THE EAST LINE OF THE LAND DESCRIBED IN PARCEL "B" OF SAID GRANT DEED AND SHOWN ON SAID RECORD OF SURVEY;

THENCE ALONG LAST MENTIONED EAST LINE, SOUTH $00^{\circ} 19' 01''$ WEST, 229.26 FEET TO THE SOUTH LINE OF SAID PARCEL "B";

THENCE ALONG SAID SOUTH LINE, NORTH $89^{\circ} 49' 36''$ WEST, 190.00 FEET TO THE WEST LINE OF THE EAST HALF OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 6, AS SHOWN ON SAID RECORD OF SURVEY;

THENCE ALONG LAST MENTIONED WEST LINE, SOUTH $00^{\circ} 19' 00''$ WEST, 1072.98 FEET TO SAID CENTERLINE OF LAKELAND ROAD;

THENCE ALONG SAID CENTERLINE OF LAKELAND ROAD, SOUTH $89^{\circ} 51' 08''$ EAST, 685.51 FEET TO THE POINT OF BEGINNING.

PARCEL 1 CONTAINING: 619,042 SQUARE FEET OR 14.21 ACRES MORE OR LESS.

Last Update: 01/31/14
J:\1971\1971e\LLA\Grant Deed\DEED-2\1971e_DEED-2.dwg

PREPARED BY:

Thienes Engineering, Inc.
CIVIL ENGINEERING • LAND SURVEYING
14349 FIRESTONE BOULEVARD
LA MIRADA, CALIFORNIA 90638
PH (714) 521-4811 FAX (714) 521-4173

SURVEYOR:

PREPARED UNDER THE SUPERVISION OF:

Brian L. Thienes
BRIAN L. THIENES
P.L.S. NO. 5750
REG. EXP. DEC. 31, 2015

2/3/14
DATE



EXHIBIT "A"
LOT LINE ADJUSTMENT NO. 2013-02
LEGAL DESCRIPTION

PARCEL 2:

THOSE PORTIONS OF THE SOUTH ONE-HALF OF THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 3 SOUTH, RANGE 11 WEST, RANCHO SANTA GERTRUDES, IN THE CITY OF SANTA FE SPRINGS, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 1, PAGE 502 OF PATENTS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, ALSO BEING THAT PORTION OF PARCELS "C" AND "D" OF THE LAND DESCRIBED IN "GRANT DEED" RECORDED AUGUST 6, 1998 AS INSTRUMENT NO. 98-1376149, OF OFFICIAL RECORDS OF SAID COUNTY AND SHOWN ON RECORD OF SURVEY RECORDED IN BOOK 166, PAGES 90 THROUGH 93, INCLUSIVE OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

COMMENCING AT THE INTERSECTION OF THE CENTERLINE OF LAKELAND ROAD (80.00 FEET WIDE) WITH A LINE PARALLEL WITH AND DISTANT 24.00 FEET EASTERLY, MEASURED AT RIGHT ANGLES FROM THE WEST LINE OF THE WEST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 6, BOTH AS SHOWN ON SAID RECORD OF SURVEY;

THENCE ALONG SAID PARALLEL LINE, NORTH 00° 17' 28" EAST, 762.94 FEET TO A POINT ON A LINE PARALLEL WITH AND DISTANT 559.00 FEET SOUTHERLY, MEASURED AT RIGHT ANGLES FROM THE CENTERLINE OF FLORENCE AVENUE (50.00 FEET HALF-WIDTH) AS SHOWN ON SAID RECORD OF SURVEY, SAID POINT BEING THE TRUE POINT OF BEGINNING;

THENCE ALONG LAST MENTIONED PARALLEL LINE, NORTH 89° 49' 36" WEST, 426.00 FEET TO A LINE PARALLEL WITH AND DISTANT 402.00 FEET WESTERLY, MEASURED AT RIGHT ANGLES FROM SAID WEST LINE;

THENCE ALONG LAST MENTIONED PARALLEL LINE, NORTH 00° 17' 28" EAST, 539.00 FEET TO A LINE PARALLEL WITH AND DISTANT 20.00 FEET SOUTHERLY, MEASURED AT RIGHT ANGLES FROM SAID CENTERLINE OF FLORENCE AVENUE;

THENCE ALONG LAST MENTIONED PARALLEL LINE, SOUTH 89° 49' 36" EAST, 426.00 FEET TO THE NORTHERLY PROLONGATION OF ABOVE MENTIONED COURSE HAVING A BEARING AND DISTANCE OF "NORTH 00° 17' 28" EAST, 762.94 FEET;

THENCE ALONG SAID NORTHERLY PROLONGATION, SOUTH 00° 17' 28" WEST, 539.00 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL 2 CONTAINING: 229,615 SQUARE FEET OR 5.27 ACRES MORE OR LESS.


Last Update: 01/31/14
J:\1971\1971a\LLA\Grant Deed\DEED-2\1971a_DEED-2.dwg

PREPARED BY:

Thienes Engineering, Inc.
CIVIL ENGINEERING • LAND SURVEYING
14349 FIRESTONE BOULEVARD
LA MIRADA, CALIFORNIA 90638
PH. (714) 521-4811 FAX (714) 521-4173

SURVEYOR:

PREPARED UNDER THE SUPERVISION OF:

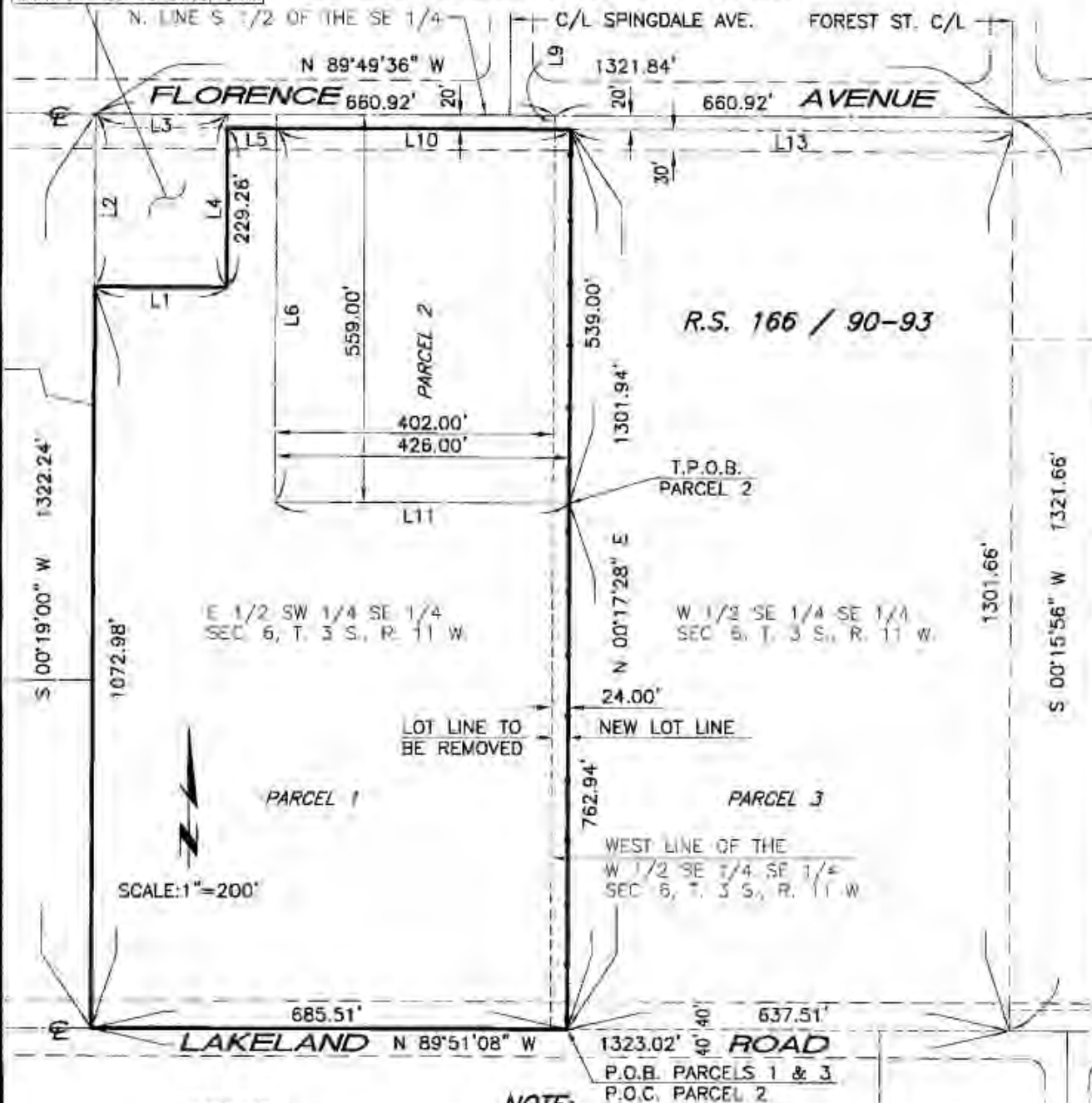

BRIAN L. THIENES
P.L.S. NO. 5750
REG. EXP. DEC. 31, 2015

2/3/14
DATE



NOT A PART-PARCEL "B"
GRANT DEED REC. 08/06/98
INST. NO. 98-1376149, O.R.

EXHIBIT "B" **LOT LINE ADJUSTMENT NO. 2013-02**



LEGEND:

- INDICATES PROPERTY DESCRIBED IN EXHIBIT "A"
- INDICATES LOT LINE TO BE REMOVED
- INDICATES NEW LOT LINE

NOTE:

SEE SHEET 2 FOR BASIS OF BEARINGS,
PARCEL AREAS AND LINE TABLE.

Last Update: 01/31/14

J:\1971\1971e\LLA\Grant Deed\DEED-2\1971e_DEED-2.dwg

EXHIBIT "B" **LOT LINE ADJUSTMENT NO. 2013-02**



PARCEL AREAS:

EXISTING PARCEL "A":	600,731 SQ. FT. 13.79 ACRES
EXISTING PARCEL "C":	216,679 SQ. FT. 4.97 ACRES
EXISTING PARCEL "D":	860,775 SQ. FT. 19.76 ACRES
EXISTING TOTAL:	1,678,185 SQ. FT. 38.52 ACRES
PROPOSED PARCEL 1:	619,042 SQ. FT. 14.21 ACRES
PROPOSED PARCEL 2:	229,614 SQ. FT. 5.27 ACRES
PROPOSED PARCEL 3:	829,529 SQ. FT. 19.04 ACRES
PROPOSED TOTAL:	1,678,185 SQ. FT. 38.52 ACRES

LINE TABLE		
LINE #	LENGTH	BEARING
L1	190.00'	N 89°49'36" W
L2	249.26'	N 00°19'00" E
L3	190.00'	N 89°49'36" W
L4	249.26'	S 00°19'01" W
L5	68.93'	N 89°49'36" W
L6	539.00'	N 00°17'28" E
L7	402.00'	N 89°49'36" W
L8	402.00'	N 89°49'36" W
L9	20.00'	N 00°17'28" E
L10	426.00'	S 89°49'36" E
L11	426.00'	N 89°49'36" W
L12	660.93'	N 89°49'36" W
L13	636.93'	S 89°49'36" E

PREPARED BY:

Thienes Engineering, Inc.
CIVIL ENGINEERING • LAND SURVEYING
14349 FIRESTONE BOULEVARD
LA MIRADA, CALIFORNIA 90638
PH: (714) 521-4811 FAX: (714) 521-4173

Last Update: 01/31/14
J:\1971\1971a\LLA\Grant Deed\DEED-2\1971a-DEED-2.dwg